

CHAPTER NINE FIRE AND LIFE SAFETY

9-1 General

9-2 Fire Warning Equipment

9-3 Extinguishing Systems

9-4 Emergency Egress Path

9-5 Fire Separation Inside Parks

9-6 Fire Separation Outside Parks

9-7 Fire Separation Requirements

9-8 Wildfire Hazard Mitigation

9-1 General

9-1.1 Application. Each manufactured dwelling, accessory building, and accessory structure shall be sited and installed to the minimum fire, and life safety requirements of this chapter. This chapter applies to manufactured dwelling installers, contractors, homeowners, and park owners siting or installing manufactured dwellings, accessory buildings, or accessory structures.

9-2 Fire Warning Equipment

9-2.1 Initial Sale of New Homes. At the time of initial sale and installation, a new manufactured dwelling shall have operating smoke alarms installed complying with the federal **Manufactured Home Construction and Safety Standards, 24 CFR 3280.208.**

9-2.2 After Initial Sale of New Home.

After the initial sale or installation, a manufactured dwelling shall have approved operating smoke alarms installed according to this chapter if required by the following:

(a) When a manufactured dwelling is relocated to or within a manufactured dwelling park, mobile home park, or combination park, as required by **ORS 90.740(4)(d)**;

(b) When a manufactured dwelling is being altered or repaired to the degree that a permit is required;

(c) When a manufactured dwelling is being installed on a site as a secondary installation;

(d) When a manufactured dwelling is being sold or offered for sale, as required by **ORS 479.260(2)**;

(e) When a manufactured dwelling is being rented, leased, or offered for rent or lease, as required by **ORS 479.270**;

(f) When a manufactured dwelling is being re-manufactured or refurbished;

(g) When a visual inspection is being performed on a manufactured dwelling by the Division; and

(h) Prior to an Oregon insignia of compliance being issued by the Division.

9-2.3 Standard. Smoke alarms installed in manufactured dwellings, basements, or cabanas shall be listed and labeled as conforming with the requirements of **UL 217** or **ANSI/UL 268**. Visible signaling appliances installed in manufactured dwellings, basements, or cabanas shall be listed and labeled as conforming to the requirements of **ANSI/UL 1971**. Smoke alarms in manufactured dwellings, basements, or cabanas shall be installed in accordance with the manufacturer's listing, the manufacturer's installation instructions, and this chapter. As an alternate to the manufacturer's listing and installation instructions smoke alarms may be installed in accordance with **NFPA 72**.

9-2.4 Smoke Alarm Locations. Smoke alarms shall be located in areas where the ambient conditions are within the limits specified by the manufacturer of the device and according to the following:

(a) A single station smoke alarm shall be installed between the kitchen, living, or dining areas and each bedroom;

(b) A single station smoke alarm shall be installed outside each sleeping area;

(c) A single station smoke alarm shall be installed inside each bedroom;

(d) Smoke alarms shall be installed according to the listing;

(e) A multiple station smoke alarm shall be installed on each additional level (basement, loft, or second story) of a manufactured dwelling;

(f) A smoke alarm shall be located on the basement ceiling near the entry to a stairway leading up from a basement into a manufactured dwelling;

(g) A multiple station smoke alarm shall be installed in a manufactured dwelling basement and interconnected with at least one smoke alarm inside the manufactured dwelling;

(h) Smoke alarms shall not be installed within 3 feet (91 cm) horizontally from the supply or return air grill of a forced air heating or cooling system.

9-2.5 Power Supply. Smoke alarms shall receive their primary power from one of the following sources:

(a) An alternating current power source, along with a secondary battery source capable of operating the device when the primary power is interrupted; or

(b) Battery operated.

9-2.6 Power Source. Smoke alarms that receive primary power from a 120-volt electrical circuit shall be mounted on an electrical outlet box and connected by a permanent wiring method in accordance with **NFPA 70-99**. There shall be no switches in the circuit between smoke alarms and the over current protective device of that circuit. Smoke alarms shall not receive their power from a circuit that is protected by a ground-fault circuit-interrupter.

9-2.7 Testing and Maintenance. Smoke alarms shall be functionally tested by the installer in accordance with the manufacturer's instructions to assure proper operation.

9-3 Extinguishing Systems

9-3.1 When Needed. Fire sprinkler systems are not required by this code but, if installed in a manufactured dwelling, shall be installed according to this chapter. The authority having jurisdiction may accept the installation of approved fire sprinkler systems as an alternative to the local fire flow requirements. The authority having jurisdiction shall not

require a manufactured dwelling to have any greater fire flow requirements than those required for all other single family detached homes in the same underlying zone.

9-3.2 Standard. If fire sprinkler systems are added to a manufactured dwelling, either at the place of manufacture or as an on site retrofit, the system shall be designed, installed, and tested according to **NFPA 13D-99**. Where the authority having jurisdiction approves an alternate system, it shall be designed, installed, and tested according to **NFPA 13-99**.

9-3.3.1 Factory Installed. Manufacturers installing fire sprinkler systems shall comply with the following minimum requirements:

(a) The fire sprinkler system shall be designed to operate at water pressures equivalent to that required to supply the potable water system within the manufactured dwelling;

(b) On multiple section manufactured dwelling, the fire sprinkler system shall be equipped with couplings at the marriage line(s).

(c) Upon completion of the installation, the manufacturer shall successfully complete a test of the fire sprinkler system at the plant according to **NFPA 13-D-99** and the DAPIA approved quality assurance manual; and

(d) Upon completion of the test, the manufacturer shall fill out all applicable information on the **NFPA Residential Fire Sprinkler System Certification and Information** form (**Figure 3-10.3 of NFPA 501-01**) or equivalent and permanently post the certificate inside the manufactured dwelling in a location where it will not likely be removed.

9-3.3.2 Factory Information. Home manufacturers installing fire sprinkler systems shall provide specific DAPIA approved instructions indicating the following:

(a) The minimum operating water pressure in pounds per square inch (psi)

and the minimum operating flow rate in gallons per minute (gpm) required to supply the system;

(b) Detailed instructions on all field connections required to make the system operable;

(c) Detailed instructions on how to test the fire sprinkler system after the manufactured dwelling is sited and all connections have been made; and

(d) Detailed instruction on the proper operation, maintenance, and periodic testing of the fire sprinkler system.

9-3.4 Site Responsibilities. When a manufactured dwelling is sited that contains a factory installed fire sprinkler system, the person making the fire sprinkler system connections shall be responsible for the following:

(a) Making all connections to the system according to the manufacturer's instructions;

(b) Having all connections inspected and the system tested for leaks by the person making the connection;

(c) Filling out the remaining portion of the **NFPA Residential Fire Sprinkler System Certification and Information** form (**Figure 3-10.3 of NFPA 501-01**) or equivalent permanently posted inside the manufactured dwelling; and

(d) Leaving the manufacturer's operating, maintenance, and testing instructions for the homeowner.

9-3.5 Field Installed. When a contractor installs a fire sprinkler system in a manufactured dwelling on site, the contractor shall install it according to the following:

(a) The contractor shall obtain a permit from the authority having jurisdiction for the installation;

(b) The fire sprinkler system shall be designed to operate on available water pressure and supplies;

(c) On multiple section manufactured dwelling, the fire sprinkler system shall have couplings installed at the marriage line(s) to enable future relocations;

(d) Upon completion of the installation, the contractor shall successfully complete a test of the fire sprinkler system according to **NFPA 13-D-99**;

(e) The contractor shall have the installation inspected and the test witnessed by the authority having jurisdiction;

(f) Upon completion of the test, the contractor shall leave detailed instructions for the consumer on the proper operation, maintenance, and periodic testing of the fire sprinkler system; and

(g) The contractor shall fill out an **NFPA Residential Fire Sprinkler System Certification and Information** form (**Figure 3-10.3 of NFPA 501-01**) or equivalent and permanently post the certificate inside the manufactured dwelling in a location where it will not likely be removed.

9-4 Emergency Egress Path

9-4.1 When Required. Each manufactured dwelling installed in a park, subdivision, on private or public lands, used for residential or non-residential purposes, shall have a clear path of egress from each exit door and each bedroom egress window.

9-4.2 Size. Each path of egress shall be a minimum of 3 feet (0.91 meters) in width and exit without obstruction to a street, alley, yard, or area that can provide a safe sanctuary during an evacuation. Gates and doors in the path of egress may be locked if they can be readily opened from the direction of egress without the use of a key, device, or special effort or knowledge.

9-4.3 Obstructions. All egress doors and windows shall be readily openable from the side from which egress is to be made, without the use of a key or special effort or knowledge. No dealer, installer, or contractor shall alter the manufacturer's egress provisions except where specifically permitted in this code. Bars, grill, screens, or other obstructions placed over egress doors or windows shall be

releasable or removable from the inside without the use of a key or tool.

9-5 Fire Separation in Parks

9-5.1 Setbacks and Clearances. This section establishes the minimum setbacks and clearances for all structures within a manufactured dwelling park, mobile home park, or combination park (see **Table 9-A**). No municipality shall establish more or less restrictive setbacks or clearances within manufactured dwelling parks, mobile home parks, or combination parks except as specifically permitted in Section 9-5.3 of this chapter. The local planning department may have certain other restrictions as permitted in Section 10-2 of this code.

9-5.2 Minimum Fire Separation. Each structure within a manufactured dwelling park, mobile home park, or combination park shall maintain the minimum distances to other structures specified in **Table 9-A** of this Chapter. See **Figure 9-5.1A**)

9-5.3 Alternate Setbacks and Clearances. The minimum clearances and setbacks specified in **Table 9-A** of this Chapter may be further reduced according to the following:

(a) Accessory buildings under 120 square feet (square meters) may be built integral to a carport or awning;

(b) Accessory buildings under 120 square feet (square meters) may have a zero clearance to the manufactured dwelling or cabana served if a one-hour fire separation wall is provided between the accessory building and the manufactured dwelling;

(c) Porches, decks, steps, and landings may be built integral to a carport or awning;

(d) A double carport serving two manufactured dwellings shall have a minimum clearance of 3 feet (0.91 meters) from each manufactured dwelling or cabana served (see **Figure 9-5.3A**) or a 0 foot clearance to each manufactured dwelling or cabana served if a one-hour

fire separation wall is provided through the center of the double carport (see **Figure 9-5.3B**);

(e) A double garage serving two manufactured dwellings shall have a minimum clearance of 6 feet (1.83 meters) from each manufactured dwelling or cabana served (see **Figure 9-5.3C**) or a 3 foot (0.91 meters) clearance to each manufactured dwelling or cabana served if a one-hour fire separation wall is provided through the center of the double garage (see **Figure 9-5.3D**);

(f) A double garage serving two manufactured dwellings may have a zero clearance to each manufactured dwelling or cabana served if a one-hour fire separation wall is provided between the garage and each manufactured dwelling or cabana served (see **Figure 9-5.3E**) or if a one-hour fire separation wall is provided through the center of the double garage and a fire separation wall is provided between the garage and manufactured dwelling or cabana according to the minimum requirements set forth in Chapter 8 (see **Figure 9-5.3F**);

(g) A garage serving only one manufactured dwelling may have a zero clearance to the manufactured dwelling or cabana if a fire separation wall is provided between the garage and the manufactured dwelling or cabana according to the minimum requirements set forth in Chapter 8 (see **Figure 8-4.1**);

(h) No more than two manufactured dwellings shall be adjoined through a common garage or carport; and

(i) Manufactured dwellings shall not be adjoined through a common cabana, storage shed, barn, awning, ramada, or any other structure not specifically permitted in this code.

(j) Two or more manufactured dwellings may be joined together to enlarge the total gross floor area of a manufactured dwelling if it remains a single family dwelling and is attached according to Chapter 7 of this code;

(k) The authority having jurisdiction may approve the further reduction of required

setbacks and clearances when fire resistive construction is provided between the structures according to the prescriptive requirements in the **Oregon One and Two Family Dwelling Specialty Code**.

9-5.4 Measuring Setbacks and Clearances. The setbacks and clearances required in this chapter shall be measured to the exterior walls of the structures and do not include eave overhangs except for awnings and carports.

9-6 Fire Separation Outside Parks.

9-6.1 Setbacks and Clearances. This section establishes the minimum setbacks and clearances for manufactured dwellings and associated accessory structures and accessory buildings outside a manufactured dwelling park, mobile home park, or combination park. A municipality may establish their own setbacks and clearances or may adopt this section by reference for manufactured dwellings located outside manufactured dwelling parks, mobile home parks, or combination parks.

9-6.2 Minimum Fire Separation. Where a municipality does not have ordinances governing the setbacks and clearances of structures within a subdivision or on private or public land outside a manufactured dwelling park, mobile home park, or combination park, the minimum distances identified in **Table 9-B** of this Chapter shall be maintained:

9-6.3 Alternate Setbacks and Clearances. The minimum clearances and setbacks specified in **Table 9-B** of this Chapter may be further reduced according to the following:

- (a) Accessory buildings under 120 square feet (11 square meters) may be built integral to a carport or awning;
- (b) Accessory buildings under 120 square feet (11 square meters) may have a zero clearance to the manufactured dwelling or

cabana served if a one-hour fire separation wall is provided between the accessory building and the manufactured dwelling;

(c) Porches, decks, steps, and landings may be built integral to a carport or awning;

(d) A double carport serving two manufactured dwellings shall have a minimum clearance of 3 feet (0.91 meters) from each manufactured dwelling or cabana served (**see Figure 9-5.3A**) or a 0 foot clearance to each manufactured dwelling or cabana served if a one-hour fire separation wall is provided through the center of the double carport (**see Figure 9-5.3B**);

(e) A double garage serving two manufactured dwellings shall have a minimum clearance of 6 feet (1.83 meters) from each manufactured dwelling or cabana served (**see Figure 9-5.3C**) or a 3 foot (0.91 meters) clearance to each manufactured dwelling or cabana served if a one-hour fire separation wall is provided through the center of the double garage (**see Figure 9-5.3D**);

(f) A double garage serving two manufactured dwellings may have a zero clearance to each manufactured dwelling or cabana served if a one-hour fire separation wall is provided between the garage and each manufactured dwelling or cabana served (**see Figure 9-5.3E**) or if a one-hour fire separation wall is provided through the center of the double garage and a fire separation wall is provided between the garage and manufactured dwelling or cabana according to the minimum requirements set forth in Chapter 8 (**see Figure 9-5.3F**);

(g) A garages serving only one manufactured dwelling may have a zero clearance to the manufactured dwelling or cabana if a fire separation wall is provided between the garage and the manufactured dwelling or cabana according to the minimum requirements set forth in Chapter 8 (**see Figure 8-4.1**);

(h) A double carport serving two manufactured dwellings may have a zero clearance to each manufactured dwelling;

(i) No more than two manufactured dwellings shall be adjoined through a common garage, carport, or awning; and

(j) Manufactured dwellings shall not be adjoined through a common cabana, storage shed, barn, ramada, or any other structure not specifically permitted in this code.

(k) Two manufactured dwellings may be adjoined with a zero clearance if a one hour fire separation wall is provided between each dwelling according to the **Oregon One and Two Family Dwelling Specialty Code** and the dwellings meet the requirements of Chapter 2 of this code;

(l) Up to 6 manufactured dwellings may be adjoined with a zero clearance if a two-hour fire separation wall is provided between each dwelling according to the **Oregon Structural Specialty Code** and the dwellings meet the requirements of Chapter 2 (see **Figure 9-7.1**);

(m) Two or more manufactured dwellings may be joined together to enlarge the total gross floor area of a manufactured dwelling if it remains a single family dwelling and is attached according to Chapter 7 of this code;

I

(n) The authority having jurisdiction may approve the further reduction of required setbacks and clearances when fire resistive construction is provided between the structures according to the prescriptive requirements in the **Oregon One and Two Family Dwelling Specialty Code**.

9-7 Fire Separation Requirements

9-7.1 When Required. Fire separation walls substantially slow the spread of fire from one structure to another to provide time for evacuation and response by the local fire department. Fire separation walls are specifically required between certain manufactured dwellings and accessory buildings, when a reduced

clearance or zero clearance is permitted (see **Figure 9-7.1**).

9-7.2 Fire Separation Wall. Fire separation walls shall be built according to the **Oregon One and Two Family Dwelling Specialty Code** or the **Oregon Structural Specialty Code**. Except where otherwise specified in this code, structures shall be separated from each other with fire resistive wall assemblies tested in accordance with **ASTM E 119**. Fire-resistant-rated wall assemblies shall extend from the ground to the underside of the roof sheathing and extend the full length of the common walls.

9-7.3 Parapets. Parapets shall be built according to this code or, where not specific, to the **Oregon Structural Specialty Code**. Parapets shall only be required when three or more manufactured dwellings are joined together and the roof surfaces of two or more manufactured dwellings or adjoining structures are at a different elevation. Parapets shall be constructed of a wall assembly of not less than a one-hour fire resistive rating tested in accordance with **ASTM E 119**. Fire-resistant-rated parapets shall extend the full length of the common wall and roof extension and shall not be less than 30 inches (762 mm) above the roof surface. Where the higher roof is not more than 30 inches (762 mm) above the lower roof, the parapet shall extend not less than 30 inches (762 mm) above the lower roof surface.

9-8 Wildfire Hazard Mitigation

9-8.1 Purpose. This section establishes minimum standards for manufactured dwellings, accessory buildings, and accessory structures located in or adjacent to areas subject to wildfires for the purpose of reducing the hazards presented by such fires.

9-8.2 Where Required. The provisions of this section shall apply to all dwellings required to be protected against wildfire

by a municipality that has adopted wildfire zoning regulations.

9-8.3 Materials. When located in a wildfire hazard zone, roofing material on manufactured dwellings, accessory building, and accessory structures shall be made of metal, slate, concrete shingles, or tile. Roofing may also be made of built up roofing or asphalt shingles if rated for flammability as a Class C roof covering according to **UL Standard 790**. Untreated wood shingles or shake roofs shall not be permitted in a wildfire hazard zone.

TABLE 9-A
MINIMUM FIRE SEPARATION INSIDE PARKS

MINIMUM SETBACKS AND CLEARANCES	MANUFACTURED DWELLINGS	ACCESSORY BUILDINGS	ACCESSORY STRUCTURES	GARAGES	CABANAS
Property Line⁽⁴⁾	5 feet ⁽⁶⁾	5 feet	5 feet	5 feet	5 feet
Public Street⁽⁴⁾	10 feet	10 feet	10 feet	10 feet	10 feet
Park Street	5 feet	5 feet	5 feet	5 feet	5 feet
Park Sidewalk	2 feet	2 feet	0 feet	2 feet	2 feet
Manufactured Dwelling on Same Lot	Not Permitted ⁽³⁾	3 feet ⁽³⁾	0 feet	6 feet ⁽³⁾	0 feet
Manufactured Dwelling on Adjacent Lot	10 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet	10 feet ⁽³⁾
Buildings On the Same Property Inside the Park	10 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾	10 feet ⁽³⁾	10 feet ⁽³⁾
Buildings on Adjacent Properties Outside the Park	10 feet ⁽³⁾	10 feet ⁽³⁾	3 feet ⁽³⁾	10 feet ⁽³⁾	10 feet ⁽³⁾
Accessory Buildings⁽¹⁾ on Same Lot	3 feet ⁽³⁾	3 feet ⁽³⁾	0 feet	3 feet ⁽³⁾	3 feet ⁽³⁾
Accessory Buildings⁽¹⁾ on Adjacent Lot	6 feet	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾
Accessory Structures^{(2),(5)} on Same Lot	0 feet	0 feet	0 feet	0 feet	0 feet
Accessory Structures^{(2),(5)} on Adjacent Lot	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾
Garage⁽¹⁾ on Same Lot	6 feet ⁽³⁾	3 feet ⁽³⁾	0 feet	0 feet	6 feet ⁽³⁾
Garage⁽¹⁾ on Adjacent Lot	6 feet	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet
Cabana⁽¹⁾ on Same Lot	0 feet	3 feet ⁽³⁾	0 feet	6 feet ⁽³⁾	6 feet ⁽³⁾
Cabana⁽¹⁾ on Adjacent Lot	10 feet	6 feet ⁽³⁾	6 feet ⁽³⁾	6 feet	10 feet

NOTES:

- (1) Accessory buildings include storage sheds and similar structures used in conjunction with manufactured dwellings, but for the purpose of this table only, shall not include garages or cabanas since their fire separations are different.
- (2) Accessory structures include decks, landings, guard rails, hand rails, steps, ramps, awnings, carports, and similar structures used in conjunction with manufactured dwellings, but for the purpose of this table only, shall not include skirting or ramadas since their fire separation requirements are not applicable to this table.
- (3) See **Section 9-5.3** of this Chapter for alternate setbacks and clearances. With prior approval from the authority having jurisdiction, those fire separations noted in this table may be further reduced with the use of fire resistive construction according to the prescriptive requirements contained in the **Oregon One and Two Family Dwelling Specialty Code**.
- (4) Setbacks from perimeter property lines and public streets may be greater than those dimensions shown in this table. See the individual municipalities planning ordinances for further restrictions.
- (5) Setbacks and clearances addressed in this table shall be measured to the exterior wall of the structure and shall not include the eave overhangs except for awnings and carports.
- (6) These noted setbacks and clearances are established by **Oregon Revised Statute** and shall not be reduced and shall not be given a variance from the authority having jurisdiction. Applies only to property lines.

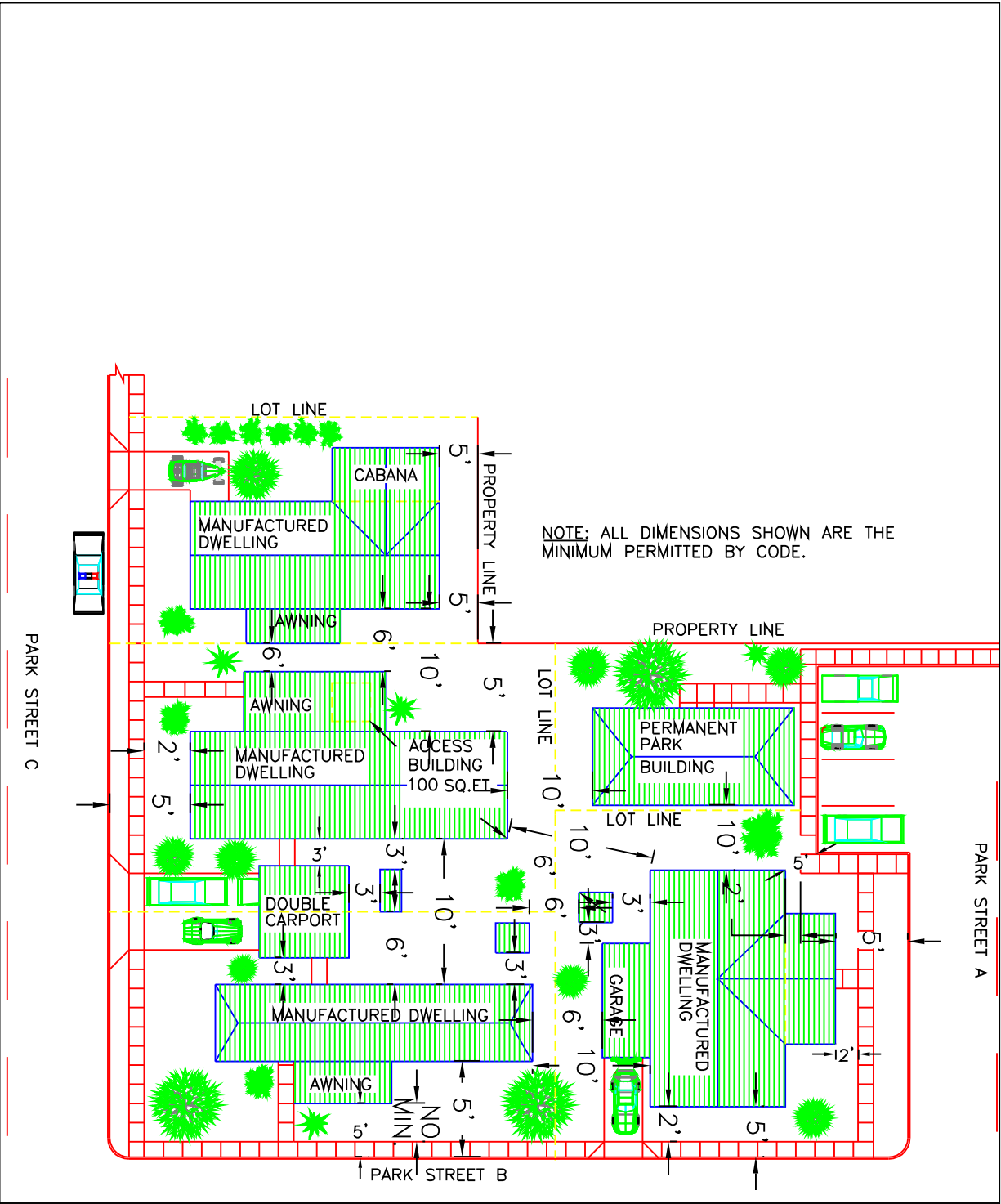
TABLE 9-B

MINIMUM FIRE SEPARATION OUTSIDE PARKS ^{(2) (3)}

MINIMUM SETBACKS AND CLEARANCES	MANUFACTURED DWELLINGS	ACCESSORY BUILDINGS	ACCESSORY STRUCTURES	GARAGES	CABANAS
Property Line ⁽⁴⁾	3 feet	3 feet	3 feet	3 feet	3 feet
Public Sidewalk ⁽⁴⁾	5 feet	3 feet	3 feet	5 feet	5 feet
Manufactured dwelling or cabana on same lot	10 feet ⁽⁵⁾	3 feet	0 feet	6 feet	10 feet ⁽⁵⁾
Manufactured dwelling or cabana on adjacent lot	10 feet ⁽⁵⁾	6 feet	6 feet	6 feet	10 feet ⁽⁵⁾
Other buildings	10 feet	6 feet	6 feet	10 feet	10 feet
Accessory Buildings ⁽¹⁾ on Same Lot	3 feet	0 feet	0 feet	3 feet	3 feet
Accessory Buildings ⁽¹⁾ on Adjacent Lot	6 feet	6 feet	6 feet	6 feet	6 feet
Decks, landings, steps, ramps, awnings & carports on same lot	0 feet	0 feet	0 feet	0 feet	0 feet
Decks, landings, steps, ramps, awnings & carports on adjacent lot	6 feet	6 feet	6 feet	6 feet	6 feet
Garage on same lot	6 feet	3 feet	0 feet	6 feet	6 feet
Garage on adjacent lot	6 feet	6 feet	6 feet	6 feet	6 feet

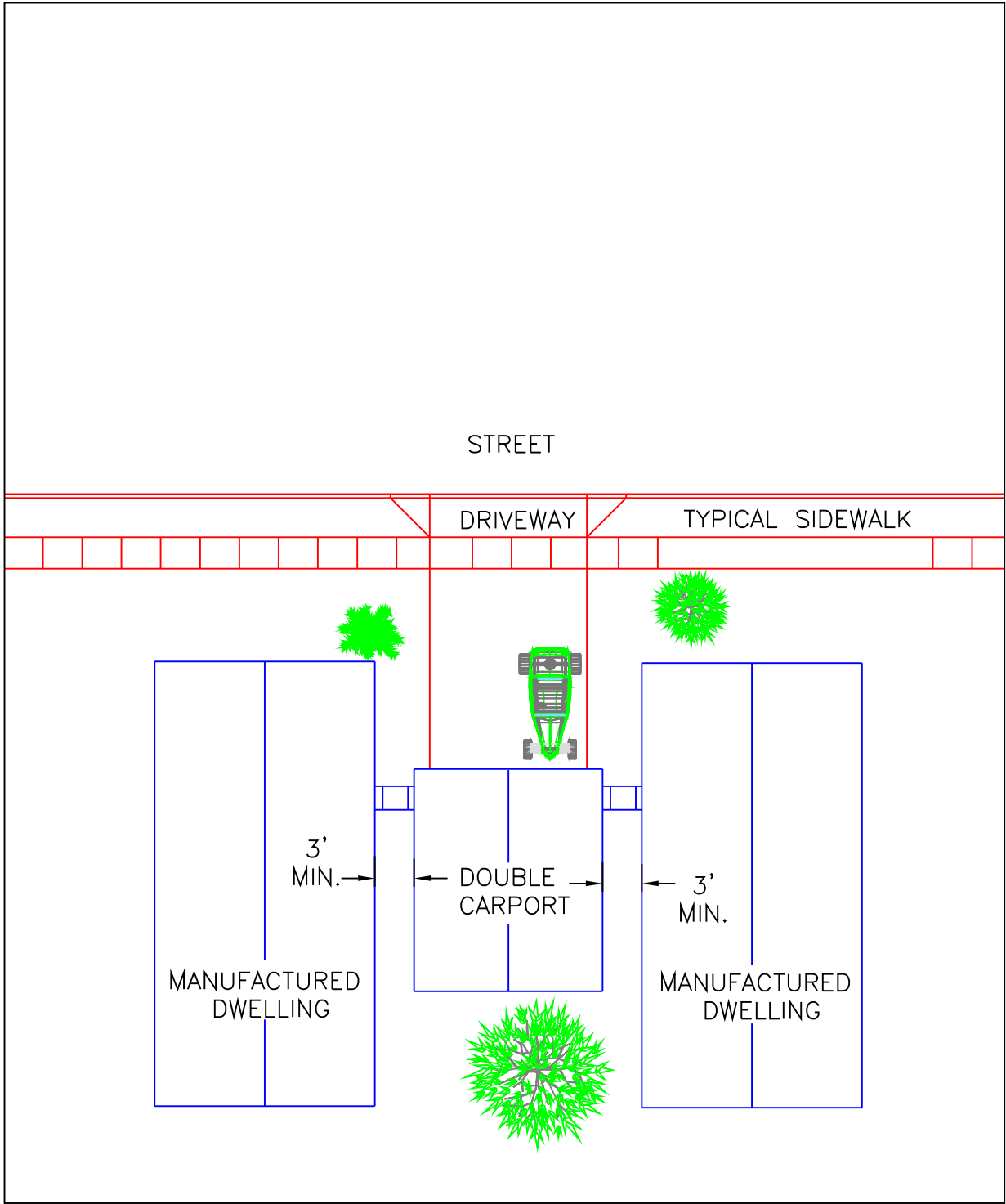
NOTES:

- (1) See section 904(e) of this Chapter for exceptions to this schedule.
- (2) Clearances shown in this schedule may be further reduced according to the **Oregon One and Two Family Dwelling Specialty Code** or the **Oregon Structural Specialty Code** with prior approval from the authority having jurisdiction.
- (3) This table is only applicable when a municipality does not have ordinances governing the setbacks and clearances for the structures mentioned above.
- (4) The set-backs and clearances required in this table shall be measured to the exterior walls of the structures and do not include eave overhangs except for awnings and carports.
- (5) See **Section 9-6.3** of this Chapter for alternate setbacks and clearances. With prior approval from the authority having jurisdiction, those fire separations noted in this table may be further reduced with the use of fire resistive construction according to the prescriptive requirements contained in the **Oregon One and Two Family Dwelling Specialty Code**.



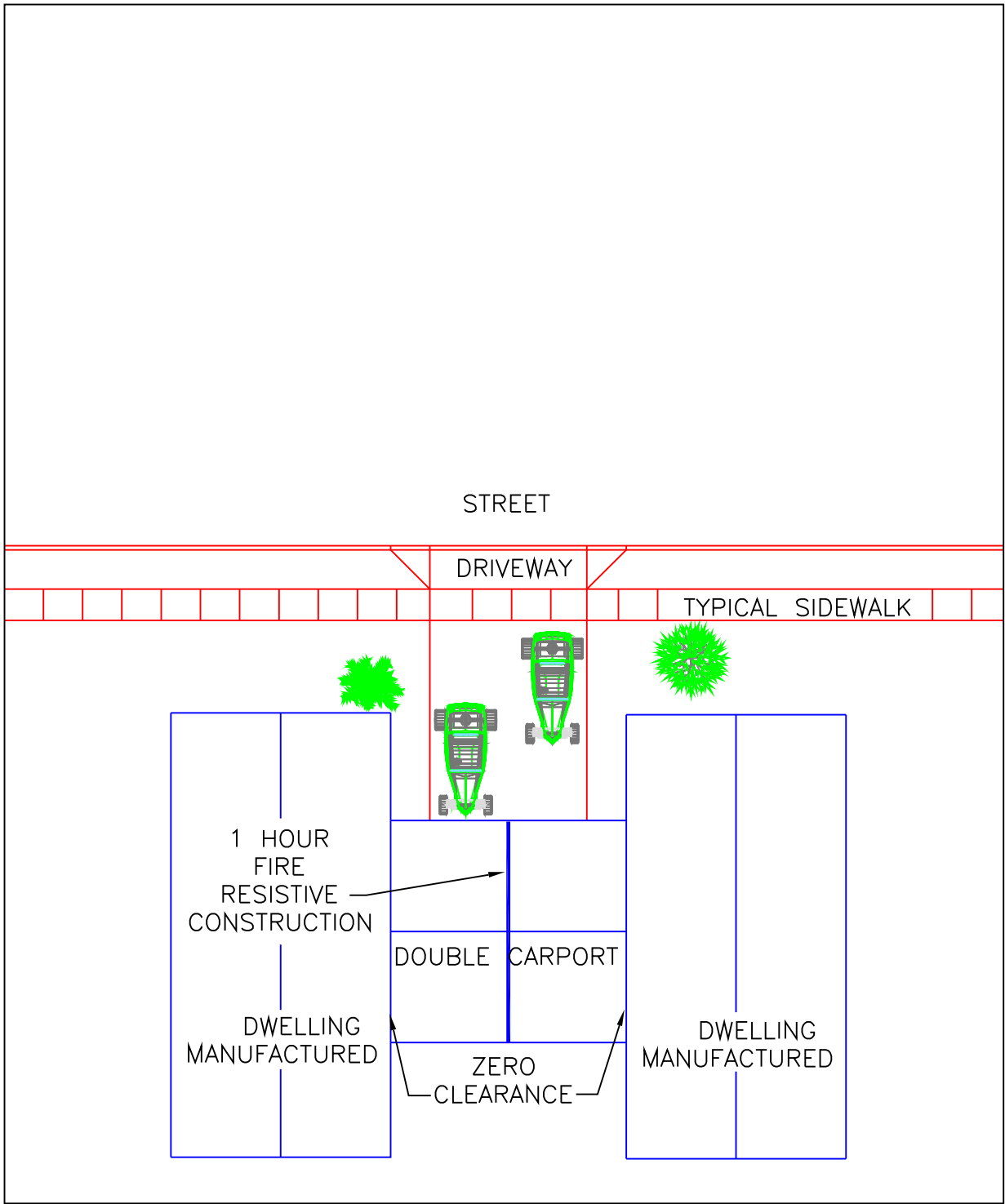
TYPICAL MANUFACTURED DWELLING PARK SETBACKS & CLEARANCES

	MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES	CHAPTER 9
REV. 12/01/01 RHW		FIGURE 9-5.1A



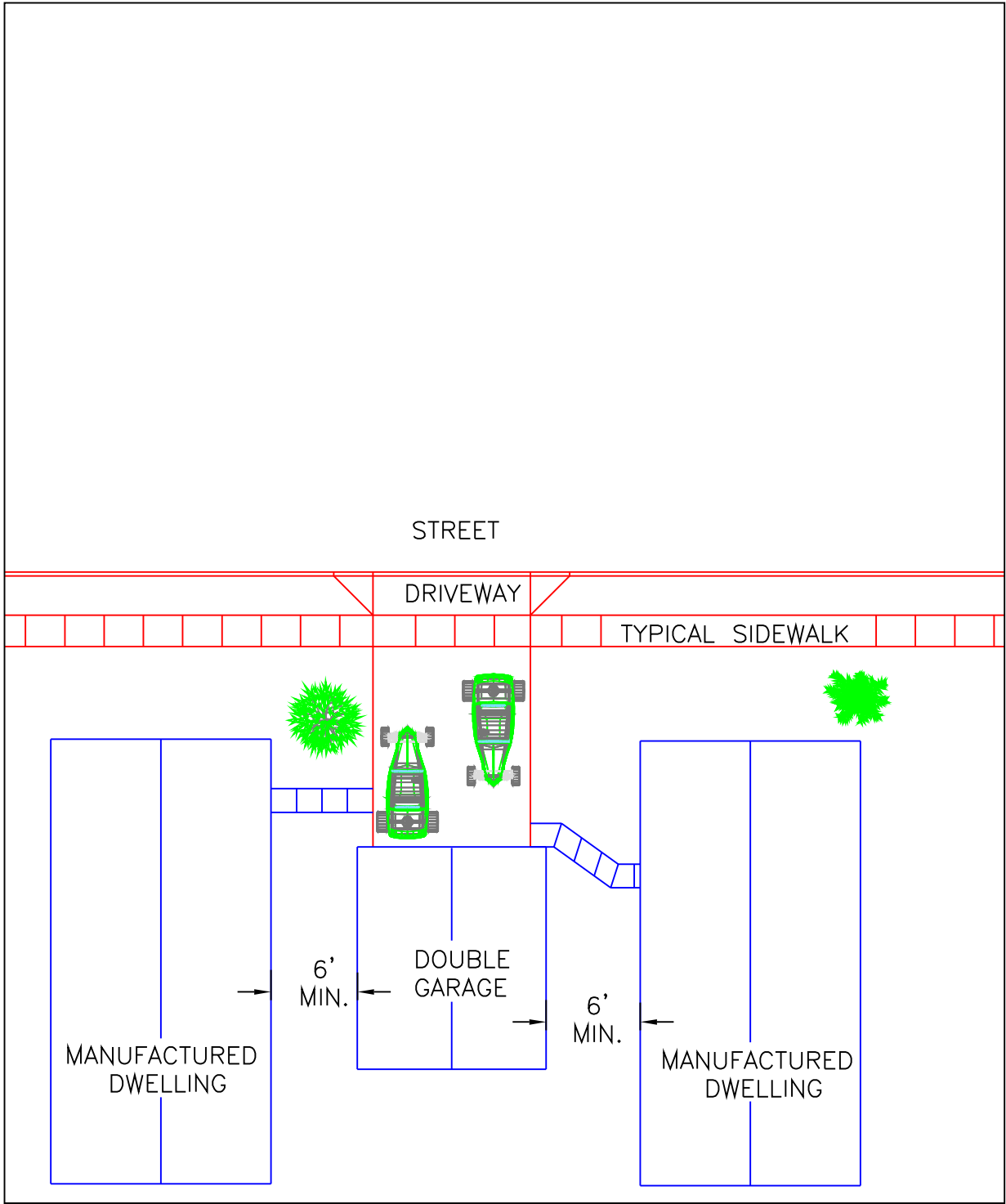
TYPICAL DOUBLE CARPORT FIRE SEPARATION DETAIL

	MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES	CHAPTER 9
REV. 12/01/01 RHW		FIGURE 9-5.3A



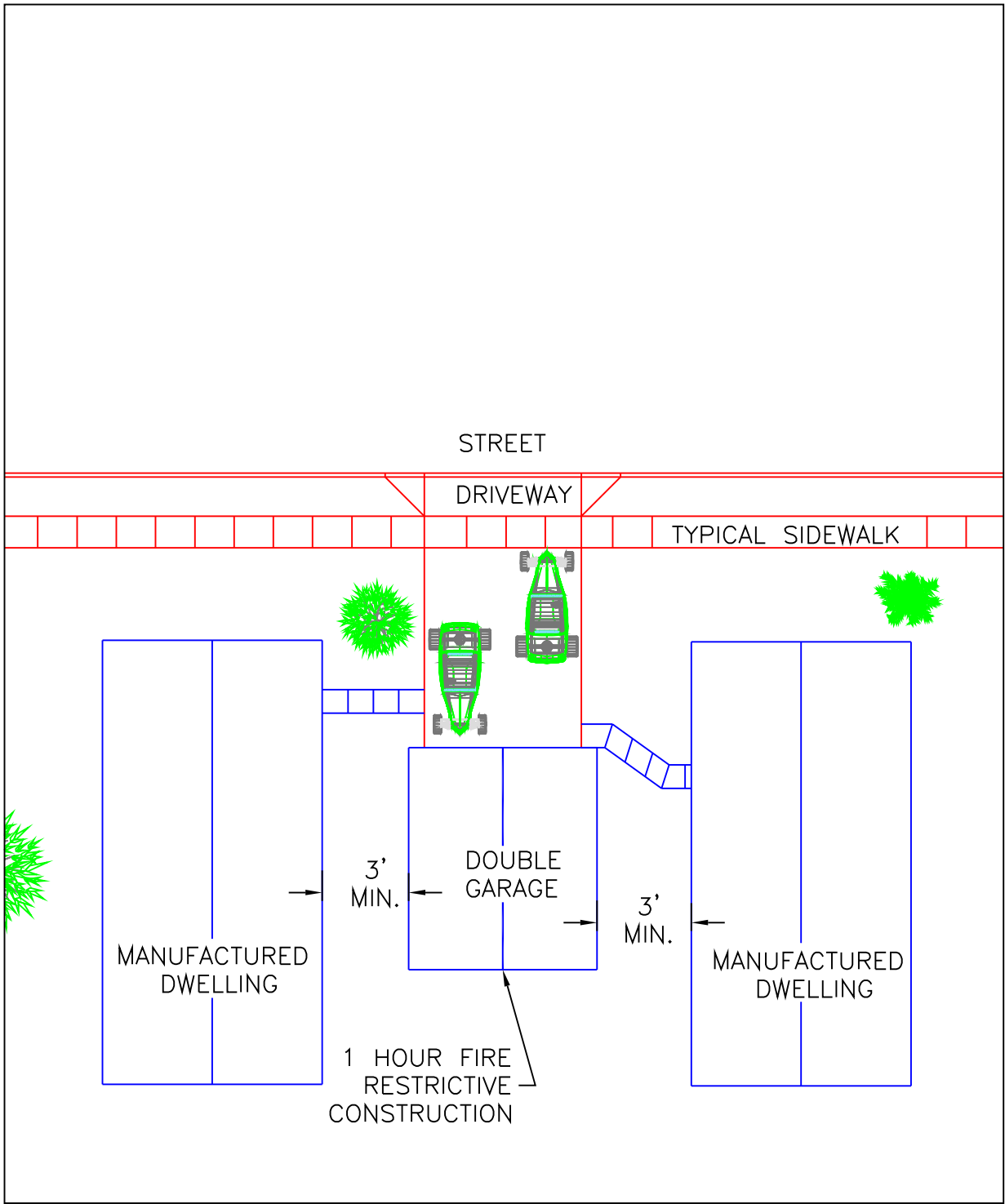
TYPICAL DOUBLE CARPORT FIRE SEPARATION DETAIL

	<p>MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES</p>	<p>CHAPTER 9</p>
<p>REV. 12/01/01 RHW</p>		<p>FIGURE 9-5.3B</p>



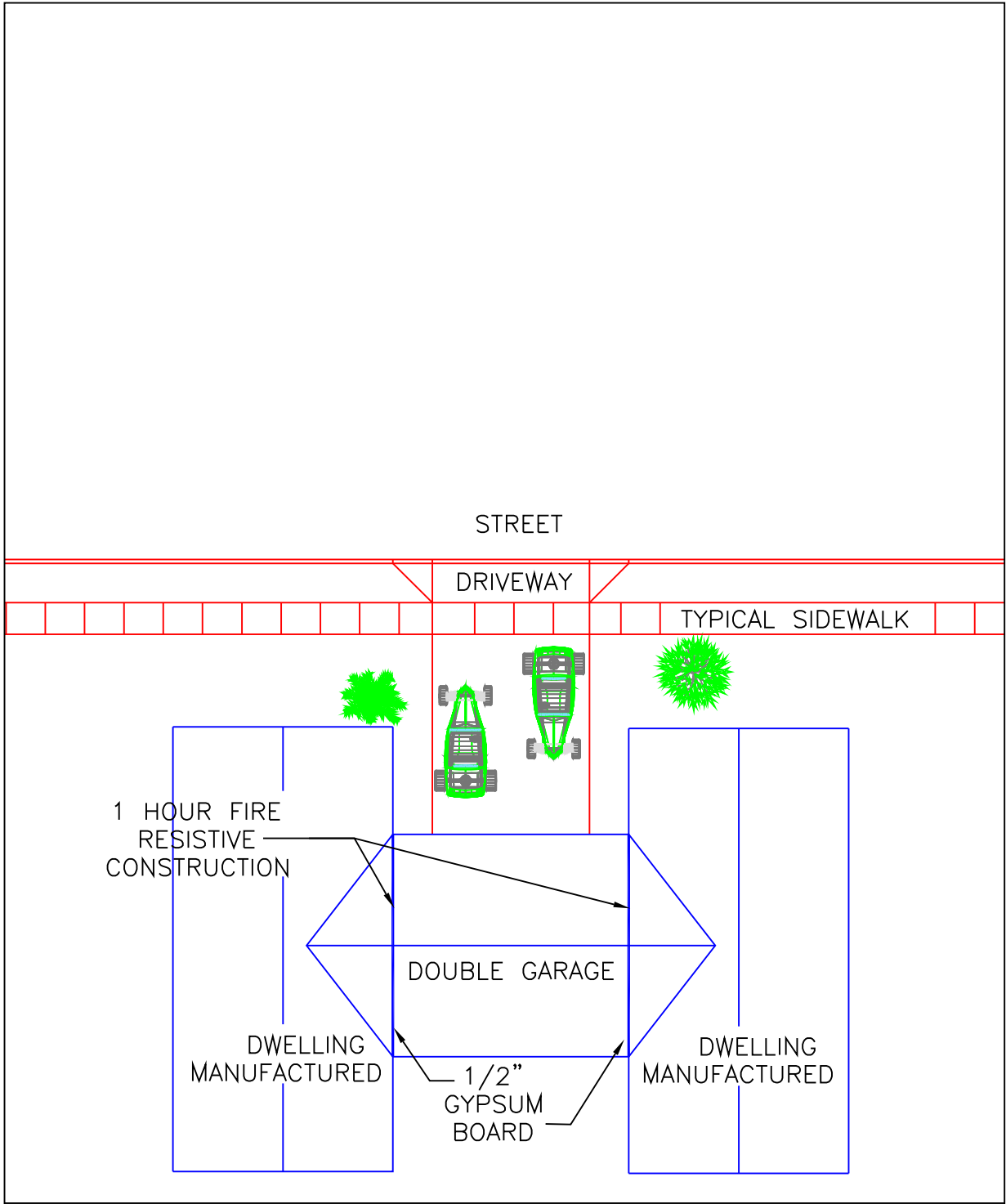
TYPICAL DOUBLE GARAGE FIRE SEPARATION DETAIL

	<p>MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES</p>	<p>CHAPTER 9</p>
<p>REV. 12/01/01 RHW</p>		<p>FIGURE 9-5.3C</p>



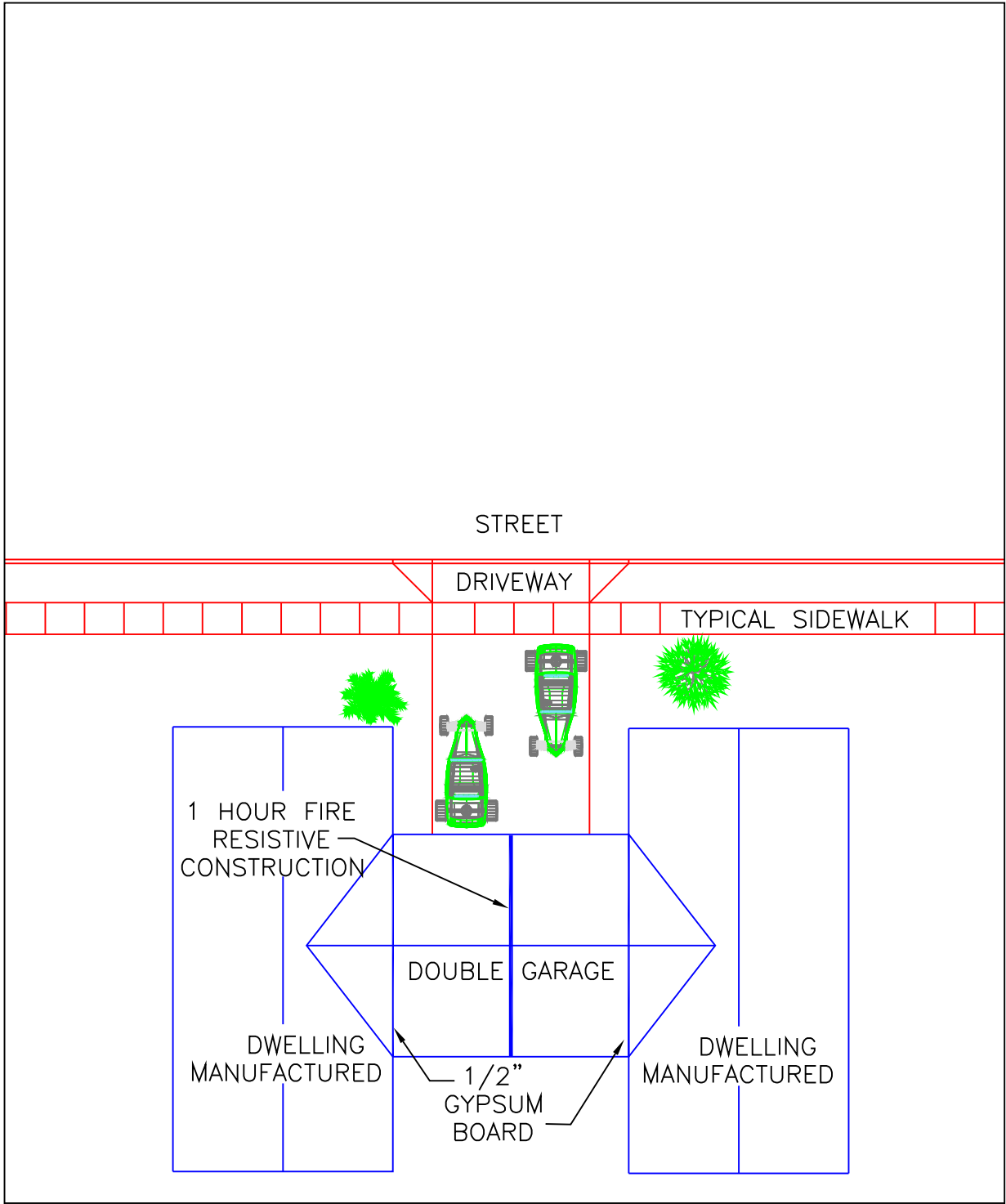
TYPICAL DOUBLE GARAGE FIRE SEPARATION DETAIL

	MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES	CHAPTER 9
REV. 12/01/01 RHW		FIGURE 9-5.3D



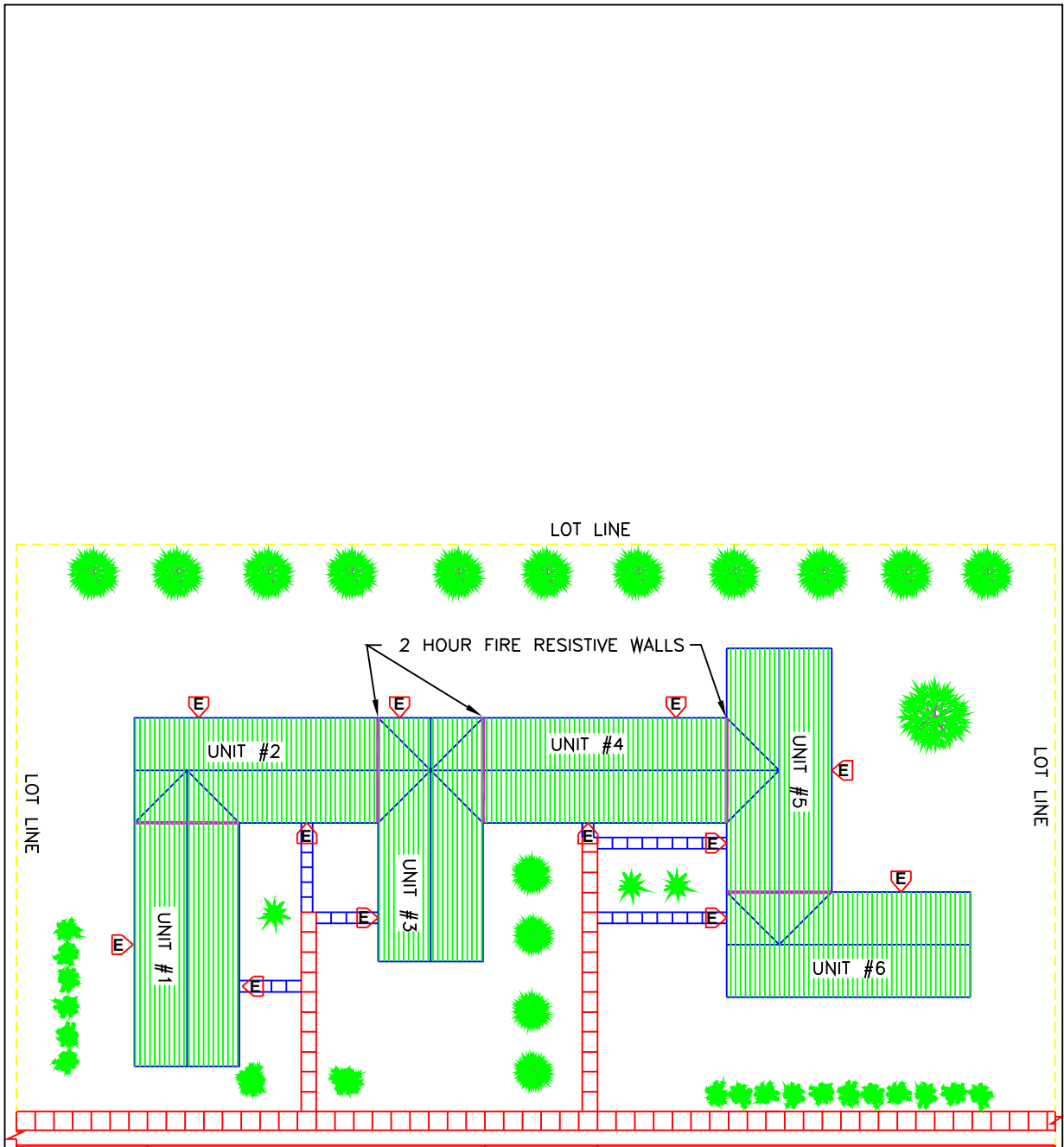
TYPICAL DOUBLE GARAGE FIRE SEPARATION DETAIL

	MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES	CHAPTER 9
REV. 12/01/01 RHW		FIGURE 9-5.3E



TYPICAL DOUBLE GARAGE FIRE SEPARATION DETAIL

	MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES	CHAPTER 9
REV. 12/01/01 RHW		FIGURE 9-5.3F



NOTE: EACH MANUFACTURED DWELLING SHALL HAVE TWO EGRESS DOORS REMOTE FROM EACH OTHER.

NOTE: TWO HOUR FIRE RESISTIVE CONSTRUCTION REQUIRED BETWEEN EACH MANUFACTURED DWELLING.

MANUFACTURED DWELLING MULTI-FAMILY UNITS

	MANUFACTURED STRUCTURE AND PARK SPECIALTY CODES	CHAPTER 9
REV. 12/01/01 RHW		FIGURE 9-7.1